

**Project - Jeevan Saanjh**

**Building Resilience in Natural Resource Management & Enhancing the Livelihood of the Community in Dhar Kalan & Bamial Block of Pathankot District, Punjab, India.**

**Request for Proposal: Construction of NRM Structure in Dhar Kalan block, Pathankot, Punjab**

**Opening Date: 18 th March 2026**

**Closing Date : 01 st April 2026**

**TERMS OF REFERENCE FOR CONTRACTUAL ASSIGNMENT**

This document outlines the terms of reference for constructing NRM (Natural Resource Management) structures under the *Jeevan Saanjh project*, implemented by the Partnering Hope into Action (PHIA) Foundation. The primary focus of this initiative is expanding irrigation areas to support sustainable agriculture and improve water resource management. Additionally, the project aims to enhance biodiversity conservation, diversify livelihoods, strengthen community empowerment, and control soil erosion in Dhar Kalan block of Pathankot, Punjab.

**A. About PHIA Foundation**

Partnering Hope into Action (PHIA) Foundation was officially registered in 2005. Since 2015, it has significantly scaled its operations, expanding its reach to work in the states of Bihar, Jharkhand, Uttar Pradesh, Madhya Pradesh, Punjab, Ladakh and Delhi NCR. This strategic expansion reflects PHIA Foundation's commitment to making a tangible impact in diverse regions and addressing the unique needs of communities across multiple states. At the core of PHIA Foundation's vision is the aspiration for a society free from poverty, exclusion, and discrimination, where every individual can live with justice, dignity, and respect. This vision serves as a guiding principle, driving the foundation's efforts to tackle the root causes of social inequality and create sustainable change. Aligned with its vision, the PHIA Foundation has a mission to work alongside communities, empowering them to access their rights, entitlements, and equal opportunities. Recognizing the importance of grassroots participation and local ownership, PHIA actively collaborates with various partners, community organizations, and stakeholders. By forging these partnerships, PHIA Foundation ensures that the voices and aspirations of poor marginalized and vulnerable communities are recognized and integrated into the development process. For more information about PHIA Foundation, please visit our website at [www.phia.org.in](http://www.phia.org.in).

**B. Project Brief:**

PHIA Foundation is implementing a pilot project titled “*Building Resilience in Natural Resource Management & Enhancing the Livelihood of the Community in Dhar Kalan & Bamial Block of Pathankot District, Punjab, India.*” The project aims to create a resilient and sustainable future for the communities of Dhar Kalan block by focusing on irrigation expansion, soil erosion control, groundwater recharge, biodiversity conservation, livelihood diversification, community empowerment, and increasing farmers' income. Expanding irrigation areas will enhance agricultural productivity and ensure water security for farming communities, while soil erosion control measures will help prevent land degradation and maintain soil fertility. Groundwater recharge initiatives will be implemented to improve water availability, ensuring a sustainable supply for agricultural and domestic use. Biodiversity

conservation efforts will protect and restore local ecosystems, fostering resilience against climate and environmental challenges. Through livelihood diversification, the project will support new income-generating activities such as fruit pulp and millet processing units, enabling farmers to create sustainable market linkages and add value to their products. By improving access to resources, training, and market opportunities, the project aims to increase farmers' income, ensuring economic stability and long-term growth. Community empowerment remains a core aspect of the initiative, strengthening local institutions to manage natural resources and livelihood development effectively. By integrating these efforts, the project seeks to improve ecological health, expand economic opportunities, and promote community leadership, creating a foundation for long-term sustainability.

The project is being implemented within 22 intervention gram panchayats located in the Dharkalan block of Pathankot.

### C. Scope of Work:

The Dharkalan block lies in a predominantly hilly terrain, where soil erosion is a major challenge. The agricultural land is largely covered with sandy soils, which are light in texture and prone to moisture loss. A significant portion of the block falls under Section 4 forest area, which acts as a natural barrier against erosion, helps in soil and water conservation, and supports the ecological balance of the region. While the sandy soils in cultivated patches allow limited crop production, the surrounding hilly and forested areas define the overall land use pattern of the block.

S. No	NRM Structure	Dimension	Total Unit
1	Farm Pond/ Percolation Tank	20 mx20mx3 m	2
2	Farm Pond/ Percolation Tank	18 mx18mx3 m	3
3	Pond Renovation & Concrete Work	50x50x0.5 m	2
4	Pond Renovation & Concrete Work	30x30x0.5 m	3
5	Check Dam Main Wall	8 meters x 3 height	1
6	Check Dam Main Wall	6 meters x 3 height	6
7	Check Dam Main Wall	4 meters x 3 height	8
<b>Total</b>			<b>25</b>

- HDFC Branding Iron Board (4 feet x 3 feet Stand 10 feet) – 25 Nos.
- **Note:** - The quantity provided is approximate quantity and may increase or decrease at the time of placing the contract.

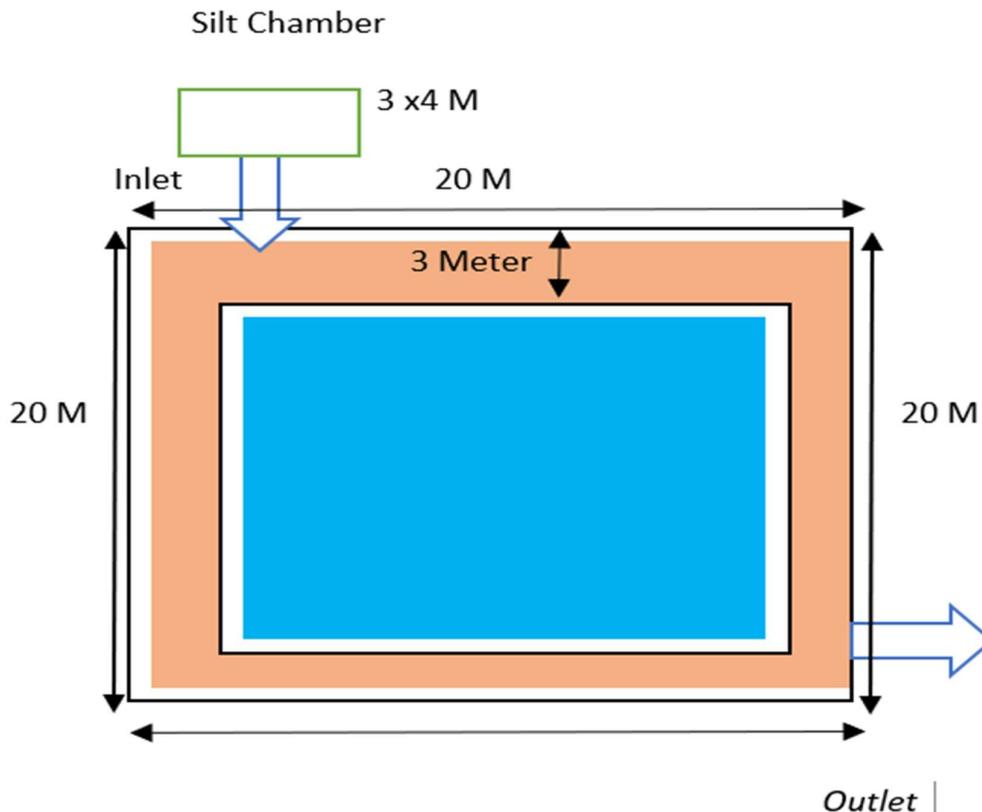
### Material Specification

Sr. No.	Description of Work	Unit	Required Material / Item
1	Farm Pond / Percolation Tank 20 × 20 × 3 meter	2	Inlet & Outlet Construction: Length – Max 3 meters. Material – Local Boulder (Gravel) / Concrete Mixer 1:6 ratio

2	Farm Pond / Percolation Tank 18 × 18 × 3 meter	3	Inlet & Outlet Construction: Length – Max 3 meters. Material – Local Boulder (Gravel) / Concrete Mixer 1:6 ratio
3	Pond Renovation & Concrete Work 50 × 50 × 0.5 meter	2	PCC Side Lining Bund (4 sides) – Ratio 1:3:6, Thickness 50 mm. Inlet & Outlet Construction – Length Max 3 meters. Material – Local Boulder (Gravel) / Concrete Mixer 1:6 ratio
4	Pond Renovation & Concrete Work 30 × 30 × 0.5 meter	3	PCC Side Lining Bund (4 sides) – Ratio 1:3:6, Thickness 50 mm. Inlet & Outlet Construction – Length Max 3 meters. Material – Local Boulder (Gravel) / Concrete Mixer 1:6 ratio
5	Check Dam – 8-meter main wall × 3-meter height	1	PCC Coping (with 20 mm graded metal size), Plastering – 12 mm in cement mortar, Random/Uncoursed Rubble Masonry (1:4) in foundation
6	Check Dam – 6-meter main wall × 3-meter height	6	PCC Coping (with 16 mm graded metal size), Plastering – 12 mm in cement mortar, Random/Uncoursed Rubble Masonry (1:4) in foundation
7	Check Dam – 4-meter main wall × 3-meter height	8	PCC Coping (with 12 mm graded metal size), Plastering – 12 mm in cement mortar, Random/Uncoursed Rubble Masonry (1:4) in foundation

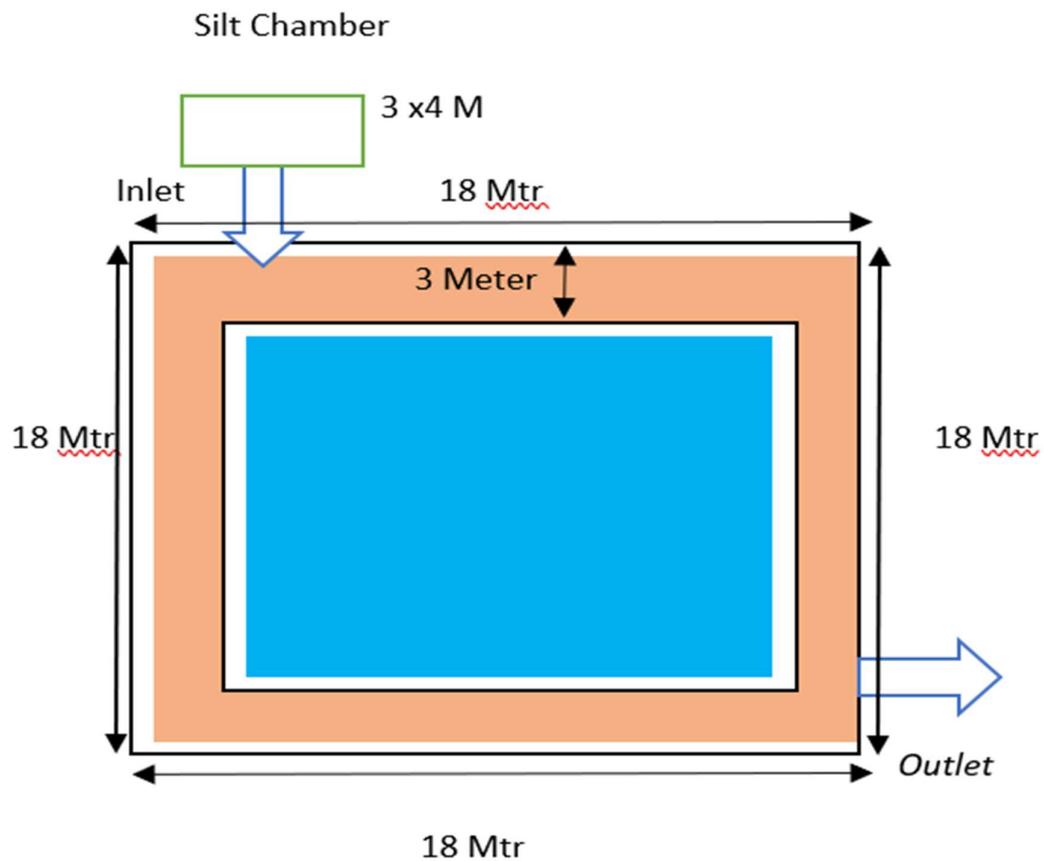
Below are the technical details for each of the proposed structures:

**1. Farm pond 20x20x3 m**



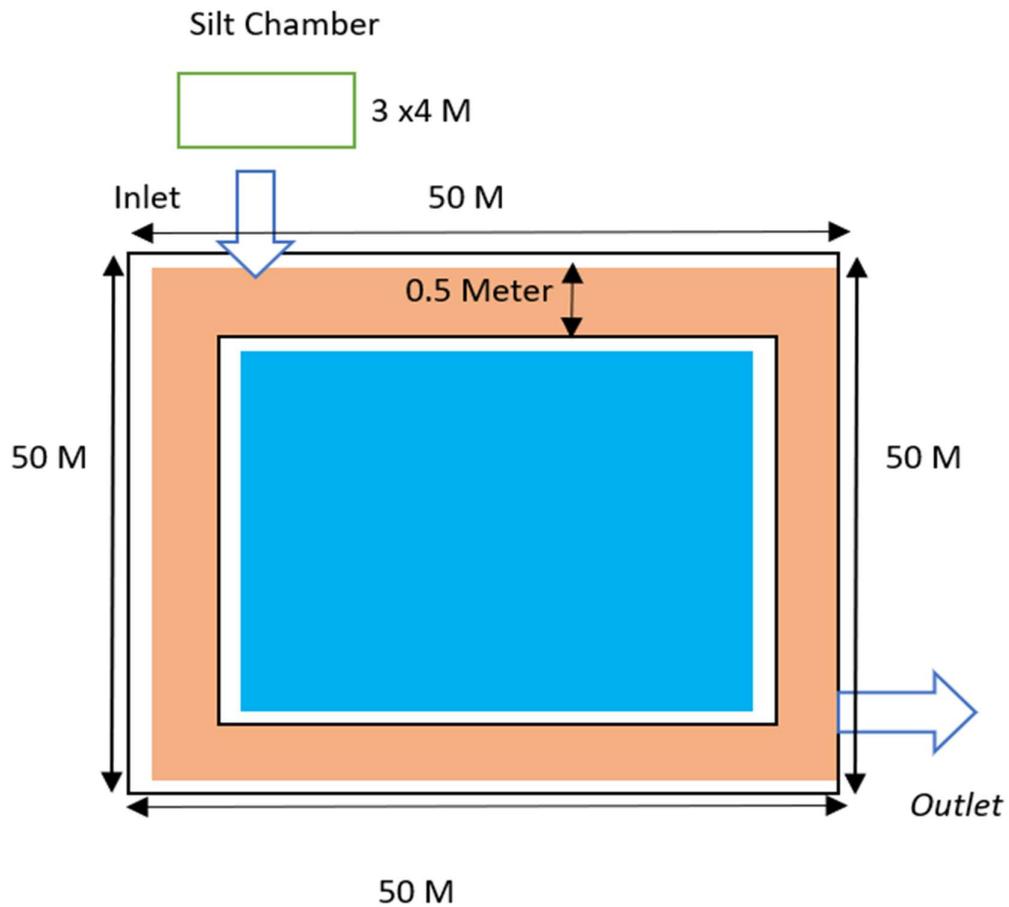
**Description of Work:**

S. No	Particulars	Measurement	Unit
1	Length & Width	20x20	Meter
2	Depth	3	Meter
3	Slope	1/3	Meter
4	Inlet length x Width x Depth	3 x 1 x 0.5	Meter
5	Outlet length x Width x Depth	3 x 1.5 x 0.5	Meter
6	Slit Trap Chamber length x Width x Depth	3 x 4 x 1.5	Meter

**2. Farm pond 18x18x3 m****Description of Work:**

S. No	Particulars	Measurement	Unit
1	Length & Width	18x18	Meter
2	Depth	3	Meter
3	Slope	1/3	Meter
4	Inlet length x Width x Depth	3 x 1 x 0.5	Meter
5	Outlet length x Width x Depth	3 x 1.5 x 0.5	Meter
6	Slit Trap Chamber length x Width x Depth	3 x 4 x 1.5	Meter

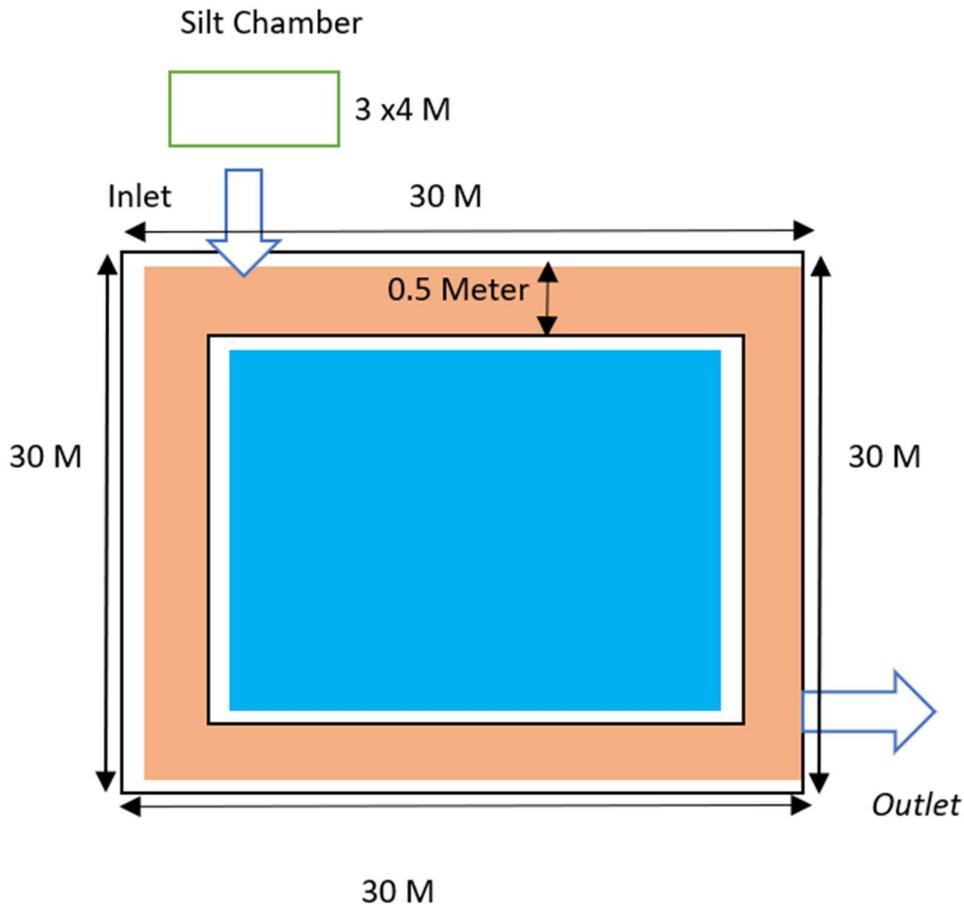
3. Pond Renovation & Concrete Work 50x50x 0.5 meters



**Description of Work:**

S. No	Particulars	Measurement	Unit
1	Length & Width	50x50	Meter
2	Depth	0.5	Meter
3	Slope	1/3	Meter
4	Inlet length x Width x Depth	3 x 1 x 0.5	Meter
5	Outlet length x Width x Depth	3 x 1.5 x 0.5	Meter
6	Slit Trap Chamber length x Width x Depth	3 x 4 x 1.5	Meter

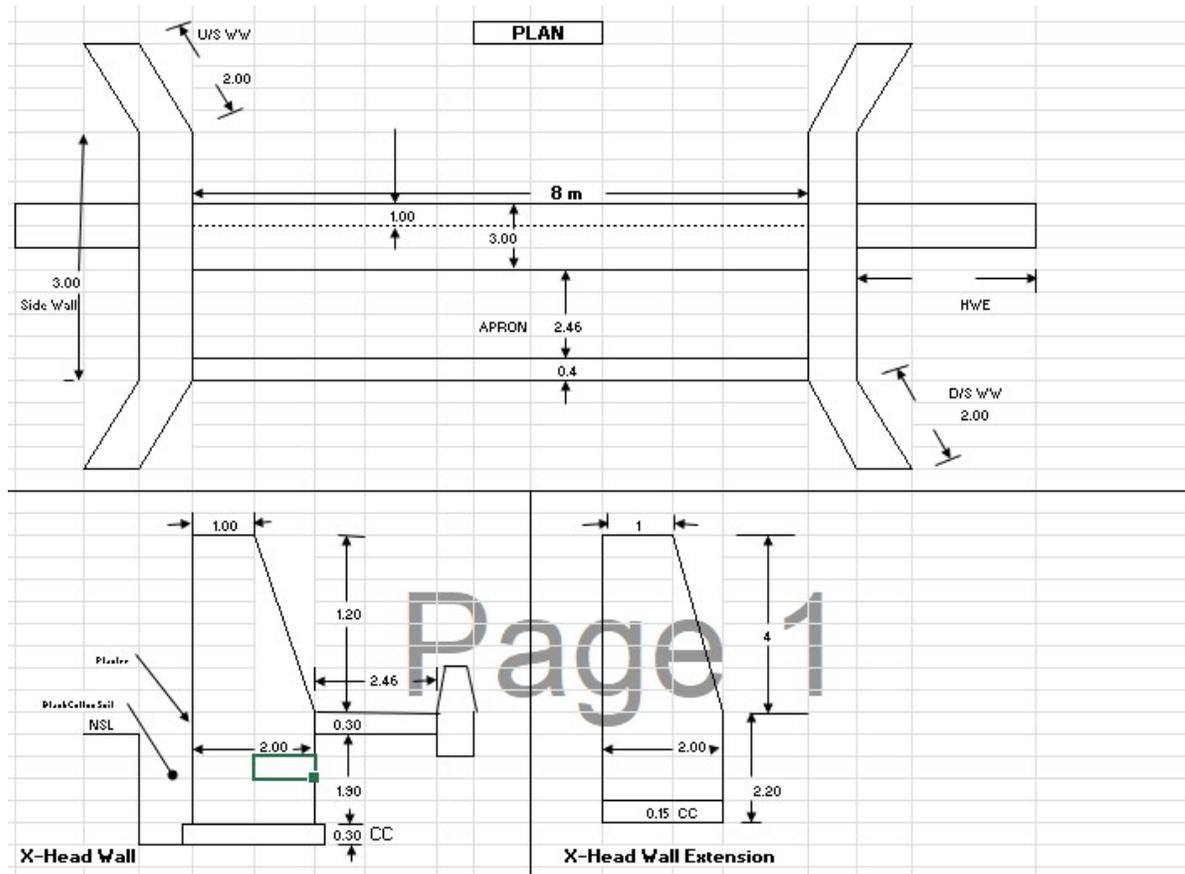
**4. Pond Renovation & Concrete Work 30x30x0.5 meters**



**Description of Work:**

S. No	Particulars	Measurement	Unit
1	Length & Width	30x30	Meter
2	Depth	0.5	Meter
3	Slope	1/3	Meter
4	Inlet length x Width x Depth	3 x 1 x 0.5	Meter
5	Outlet length x Width x Depth	3 x 1.5 x 0.5	Meter
6	Slit Trap Chamber length x Width x Depth	3 x 4 x 1.5	Meter

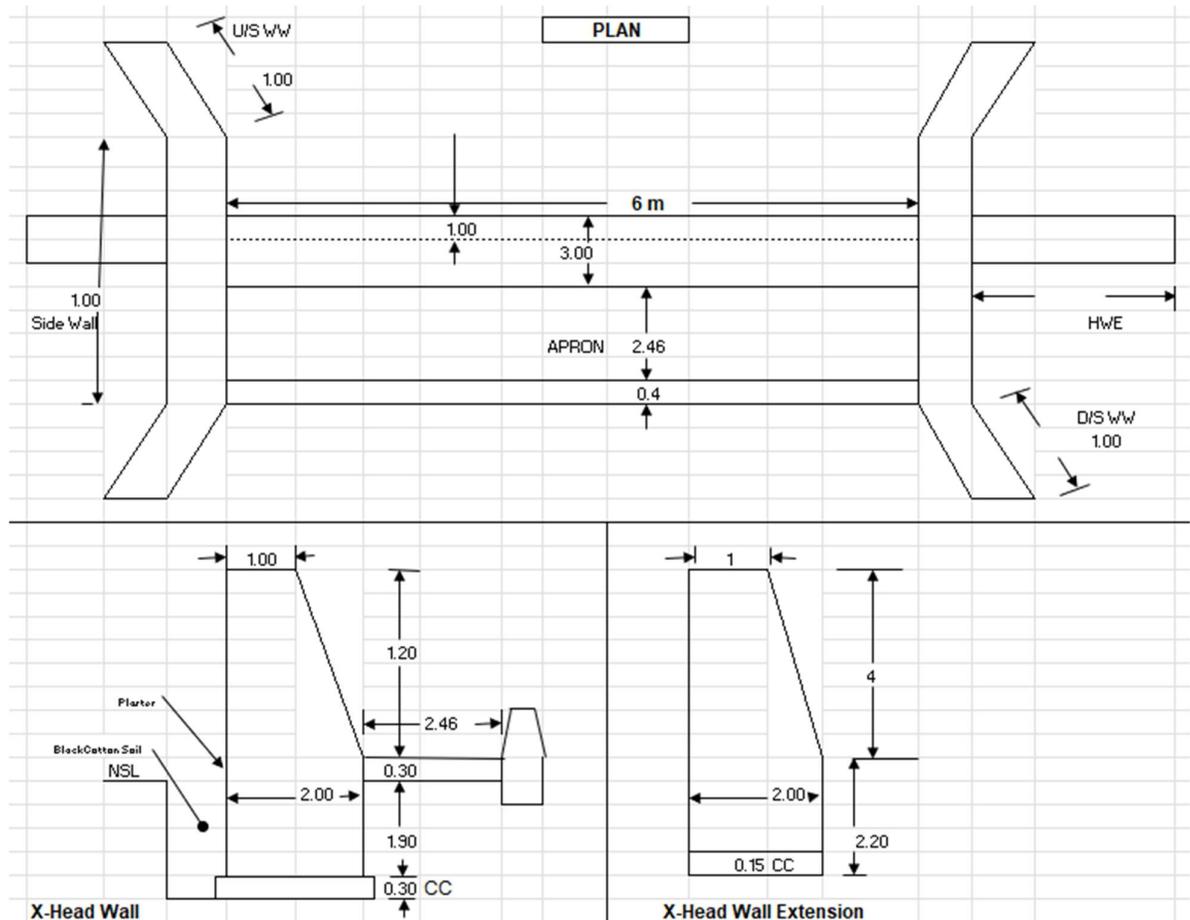
5. Check Dam Main Wall 8 m



**Description of Work:**

Particular	Dimensions	Unit
Head Wall (RCC)	Height = 2.46 m, Top Width = 1.00 m	Meter
Head Wall – PCC Foundation (CC)	Thickness = 0.30 m	Meter
Head Wall – Plaster	Height = 2.46 m (Both Faces)	Meter
Excavation for Head Wall	Depth ≈ 1.50 m, Width = 2.00 m	Meter
Wing Wall (U/S)	Length = 2.00 m	Meter
Wing Wall (D/S)	Length = 2.00 m	Meter
Head of Wall Extension (HWE)	Length = 1.00 m	Meter
Wing Wall PCC Bed	Thickness = 0.15 m	Meter
Side Wall (RCC)	Height = 3.00 m, Length = 8.00 m	Meter
Side Wall PCC Bed	Thickness = 0.30 m	Meter
Apron (RCC Slab)	Length = 8.00 m, Width = 2.46 m, Thickness = 0.40 m	Meter

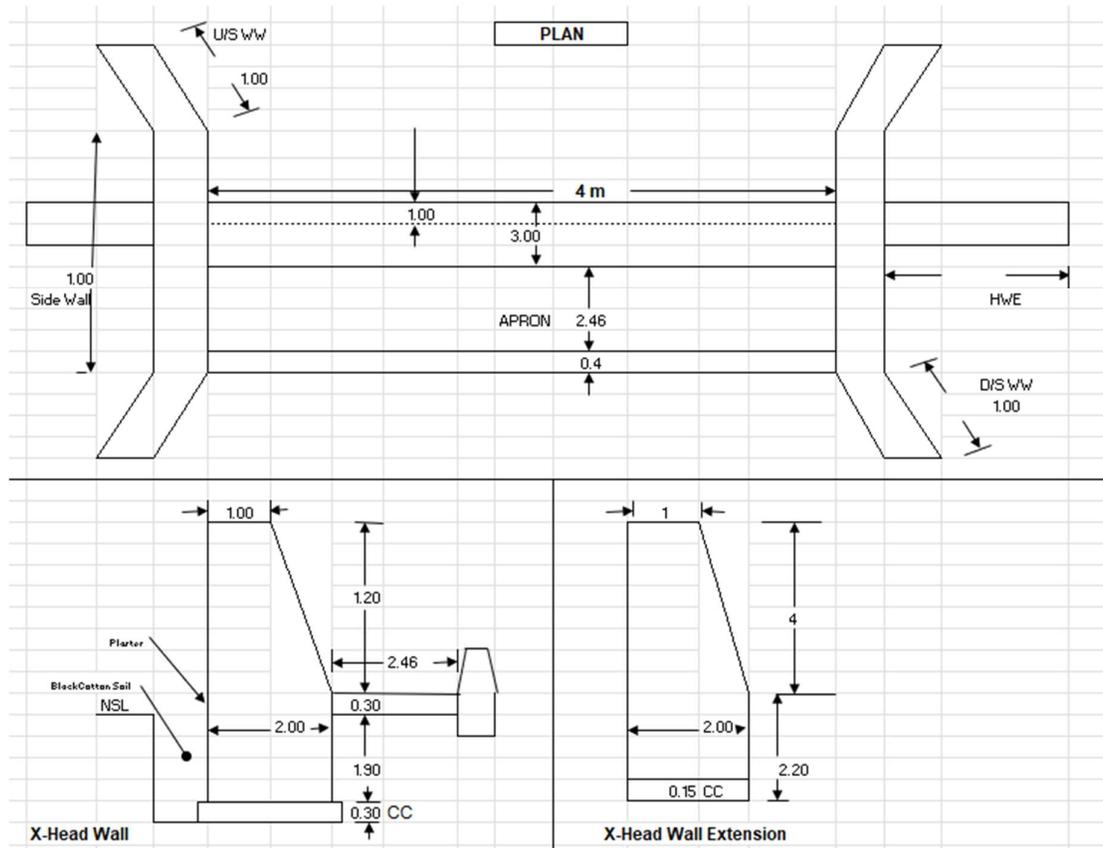
## 6. Check Dam Main Wall 6 m



### Description of Work:

Particular	Dimensions	Unit
Head Wall (RCC)	Height = 2.46 m, Top Width = 1.00 m	Meter
Head Wall – PCC Foundation (CC)	Thickness = 0.30 m	Meter
Head Wall – Plaster	Height = 2.46 m (Both Faces)	Meter
Excavation for Head Wall	Depth = 1.90 m + 0.30 m (Foundation)	Meter
Wing Wall (U/S)	Length = 1.00 m	Meter
Wing Wall (D/S)	Length = 1.00 m	Meter
Head of Wall Extension (HWE)	Length = 1.00 m	Meter
Wing Wall PCC Bed	Thickness = 0.15 m	Meter
Side Wall (RCC)	Height = 1.00 m, Length = 6.00 m	Meter
Side Wall PCC Bed	Thickness = 0.30 m	Meter
Apron (RCC Slab)	Length = 6.00 m, Width = 2.46 m, Thickness = 0.40 m	Meter

7. Check Dam Main Wall 4 m



**Description of Work:**

Particular	Dimensions	Unit
Head Wall (RCC)	Height = 2.46 m, Top Width = 1.00 m	Meter
Head Wall – PCC Foundation (CC)	Thickness = 0.30 m	Meter
Head Wall – Plaster	Height = 2.46 m (Both Faces)	Meter
Excavation for Head Wall	Depth = 1.90 m + 0.30 m (Foundation)	Meter
Wing Wall (U/S)	Length = 1.00 m	Meter
Wing Wall (D/S)	Length = 1.00 m	Meter
Head Wall Extension (HWE)	Length = 1.00 m	Meter
Wing Wall PCC Bed	Thickness = 0.15 m	Meter
Side Wall (RCC)	Height = 1.00 m, Length = 4.00 m	Meter
Side Wall PCC Bed	Thickness = 0.30 m	Meter
Apron (RCC Slab)	Length = 4.00 m, Width = 2.46 m, Thickness = 0.40 m	Meter

**D. Construction Guidelines:**

1. All structures must adhere to IS codes and relevant industry standards for material and execution.
2. Contractors must conduct a geo-technical assessment where required to ensure structure stability.
3. All structures must adhere strictly to approved designs, technical specifications, and sustainability standards.
4. Construction must be completed within the stipulated timeline as per the contract.
5. Any deviation from the approved plan requires prior approval from the concerned authorities.
6. Machinery use is restricted to material transportation and permitted earthwork activities.
7. Only approved materials meeting quality standards should be used.
8. Material sourcing must align with local and sustainable procurement guidelines.
9. Regular quality inspections will be conducted, and non-compliance may result in penalties.
10. Wages must comply with the minimum wage regulations of the area.
11. Payments must be timely, transparent, and documented to ensure fair compensation.
12. Child labor and forced labor are strictly prohibited.
13. Adequate safety measures must be implemented to protect workers and prevent accidents.
14. Construction activities must not disrupt natural drainage patterns or cause environmental degradation.
15. Proper waste management and site restoration should ensure post-construction.
16. Non-compliance with guidelines may result in warnings, financial penalties, or contract termination.
17. Regular audits and inspections will be conducted to ensure adherence to the guidelines.

**Terms and conditions:**

1. **Details of Proposal:** The proposal must include the date, number, and the GST registration/ license number/ PAN number.
2. **GST Breakdown:** If GST applies, it should be clearly listed separately in the proposal. In case GST is not separately mentioned, fee will be construed as inclusive of GST.
3. **Tax Deduction Norms:** Taxes will be applied as per government regulations. It is mandatory to link your Aadhaar with your PAN card. If the linkage is not available, tax deductions will be made at the highest rate according to government rules. Provide screenshot of Pan Aadhar linkage status.
4. **List of Similar Projects:** Provide a list of similar works completed over the last five years, including client details, contract values, photos, and the geographic coordinates (latitude and longitude) of each project site
5. **Financial Information:** Submit the company's financial details for the past three years based on the audited balance sheet.
6. **Transportation and Handling Costs:** Clearly specify the costs for transportation, loading, and unloading in your quotation. If these are not mentioned, they will be considered included in the quoted price.
7. **Material and Work Description:** The proposal must include a detailed description

of the required materials or proposed work. Materials must meet the specified brand and quality standards. Failure to meet these requirements will render the proposal invalid.

8. **Proposal Validity:** The proposal must be valid for at least 30 days, and this period should be clearly stated.
9. **Payment Terms:** The payment terms must be mentioned. Payments are typically processed through cheque/RTGS within 15-20 days of bill submission.
10. **Proposal Submission:** The proposal must be submitted through mail to [procurement@phia.org.in](mailto:procurement@phia.org.in).
11. **Non-compliance with Specifications:** If the material or work delivered does not meet the specified requirements, it will be rejected and returned at the vendor's expense. The vendor will be fully responsible for any return-related costs.
12. **Construction Responsibilities:** If Construction is required, the vendor will be responsible for completing the Construction within the given timeframe.
13. **Failure to Deliver:** If a purchase order or work order is issued and the vendor fails to deliver materials or complete the work on time, the organization reserves the right to blacklist the vendor for future contracts.
14. **Defect Liability Period:** In the event of any damage to the structure during the one year (Defect Liability Period), the vendor/contractor shall be solely responsible for carrying out all necessary repairs at their own cost.
15. **Bank Account Status:** Ensure that your firm's bank account is not frozen by the bank at the time of the proposal submission.
16. **Proprietor Payment Information:** If the payment is to be made in the name of the proprietor, the proprietor's name, bank account details, and IFSC code must be provided. Payments to anyone other than the proprietor will not be accepted.
17. **Submission Deadline:** The final date for submitting the proposal is **01/04/2026**. The management reserves the right to review proposals received after the deadline.

#### **E. Reporting Guidelines:**

1. A third-party audit may be conducted at the discretion of PHIA Foundation.
2. Contractors are required to integrate GIS mapping or mobile-based tracking for project monitoring.
3. The vendor must keep the record of payment done to the labourers.
4. Pre and post photographs of the site with clear view of the structures need to be produced for evidence. It is mandatory that the vendor must take latitude - longitude of the construction site and share it in the completion report.
5. Vendors must maintain detailed records of materials, labor attendance, and payments.
6. Periodic progress reports must be submitted to the overseeing authority.
7. Any challenges, delays, or deviations must be reported immediately for resolution

## F. Evaluation & Criteria

Criteria
Minimum 5 years of experience in design, engineering and executing a similar project <b>(Non-Negotiable)</b>
At least 3 similar projects were executed in the last two financial years in Punjab, preferably at Pathankot <b>(Non-Negotiable)</b>
The average turnover for FY 2024-25 and 2025-26 must be INR 80 Lakh. <b>(Non-Negotiable)</b>
The firm should preferably be local or have an office in Punjab.
Should have executed at least 3 projects of the Government of Punjab / Govt of India/ any other Company.
Approach and methodology for implementation of the project with timelines and detailed specifications and drawings <b>(Non-Negotiable)</b>

### The evaluation of the Proposals will be done on the following criteria:

Sr. No.	Section	Scoring
1	Organizational Details	Not Scored
2	Registration Details	Not Scored
3	Financial Information	Not Scored
<b>4</b>	<b>Section 1 – Experience</b>	<b>20 Points</b>
	1. Minimum 5 years of experience in similar work	15
	2. Local firm (preferably in Pathankot)	5
<b>5</b>	<b>Section 2 – Execution Plan</b>	<b>40 Points</b>
	1. Project Execution Plan – Technical proposal for construction plan	20
	2. Compliance with Quality Standards – Adherence to applicable IS standards and certifications	10
	3. Materials and Equipment – Quality and appropriateness of proposed materials and equipment specifications	10
<b>6</b>	<b>Section 3 – Financial Proposal</b>	<b>40 Points</b>
	1. Competitiveness (Cost) – Reasonableness of quoted cost and detailed cost breakdown	25
	2. Payment Terms – Alignment with RFP terms or feasible alternatives	10
	3. Validity of Quotation – Sufficiency of quotation period	5

#### **G. Payment Term Conditions:**

- Payment will be made in a phased manner:
  - 40% advance after issue and signing of work order,
  - 30% after mid-term review of quality and progress of work done, and
  - 30% after final completion, approval and reinstatement of project site.
- NRM Expert will carry out the evaluation, and payment will be released only after the evaluation is completed and approved.
- Payments are typically processed through cheque/RTGS within 15-20 days of bill submission **and completion of deliverables to the satisfaction of PHIA**
- Any delay in completion beyond the stipulated timeline will attract a penalty of 1% per month, up to a maximum of 10% of the contract value.

#### **H. Performance-Based Work Allocation:**

If the vendor successfully completes the assigned work with satisfactory quality and within the stipulated timeline, the organization may, at its sole discretion, allocate additional work under similar terms and conditions.

#### **I. Evaluation of Financial Proposal:**

The financial proposals of all technically qualified bidders will be opened on the date and time specified by the Authority. The financial proposal must include cost figures for the project as per the prescribed format. Evaluation will be conducted based on the Lowest Cost/Technically Qualified method.

#### **J. Timeline for Work Execution (For Vendor):**

The selected vendor/contractor must complete all assigned NRM structure construction work **on or before 31st January 2027**.

The work will be implemented in two phases considering the seasonal conditions and feasibility of construction work in hilly areas.

Phase 1 – Pre-Monsoon Work (April to June):

During this period, the following structures must be completed:

- Farm Pond / Percolation Tank Construction
- Pond Renovation & Concrete Work
- Check Dam – 8 Meter Main Wall

Phase 2 – Post-Monsoon Work (October to January):

During this period, the following structures must be completed:

- Check Dam – 6 Meter Main Wall
- Check Dam – 4 Meter Main Wall

#### **Important Note for Vendors:**

No construction work will be initiated during the **monsoon period (July to September)** due to heavy rainfall, site accessibility issues, and safety concerns in hilly terrain areas.

Vendors must plan their manpower, materials, and machinery accordingly to ensure timely completion of work within the stipulated timeline.

## K. Application Process

Interested and eligible applicants must submit the following Documents:

1. **Technical proposal:**
  - A document outlining previous experience in similar projects
  - details of technical Specification material and equipment and plan for execution.
  - Please also provide at least three references/ project completion report or certificates from previous clients.
2. **Financial Proposal:** A detailed cost estimate covering all anticipated expenses for the services rendered. Separate cost estimates have to be provided for each kind of structure.
3. **Legal documents (Mandatory)** – Aadhaar of proprietor, registration documents of companies/ firms, PAN, GST, audited financial statements for last three years- 2022-23 (audited), 2023-24 (audited) and 2024-25(unaudited), MSME registration, ESI registration supported by latest payment challans, PF registration, any other licences required for the State of Punjab.

The proposal must be submitted by 01<sup>st</sup> April 2026 to [procurement@phia.org.in](mailto:procurement@phia.org.in)

In case of any query during developing the proposal, please write at [procurement@phia.org.in](mailto:procurement@phia.org.in) by 27<sup>th</sup> March 2026. The query will be answered within two working days.

**Quotation / Tender value**

(To be printed on Pre-numbered Quotation format, or if same is not available then on Letterhead with unique number and date)

**FORMAT OF QUOTATION**

**(To be provided separately for each structure)**

<b>Sr. No.</b>	<b>Description of Work</b>	<b>Specifications</b>	<b>Qty.</b>	<b>Unit</b>	<b>Quoted Unit Price</b>	<b>Total Amount</b>
		<b>Total</b>				
		<b>Taxes @ .....% (if any)</b>				
		<b>Grand Total</b>				

**Terms and Conditions:**

1. Tax Registration No. –
2. Transport –
3. Validity of Quotation –
4. Warranty/Guarantee –
5. Expiry date of the material (wherever applicable) –
6. MSME Registration – Yes/No

Signature with Stamp of Firm

Name of Authorized signatory